

SITE INFORMATION					
JURISDICTION:			TOWN OF GARNER		
PARCEL IDENTIFICATION NO.:			1701.10-26-5114-000		
ZONING:			COMMERCIAL MIXED USE (CMX)		
OVERLAY DISTRICT			COMMERCIAL HIGHWAY OVERLAY		
FLOOD ZONE CLASSIFICATION:			ZONE X		
PROPOSED BUILDING					
HEIGHT =			23'-3"		
SEATS =			46		
GROSS AREA =			2,693 SQ. FT.		
CONSTRUCTION TYPE =			V-B		
SETBACK & BUFFERS					
BUILDING SETBACKS			LANDSCAPE BUFFERS		
FRONT	W	15 FT	FRONT	W	15 FT
REAR	E	25 FT	REAR	E	15 FT
SIDE	N	15 FT	SIDE	N	15 FT
SIDE	S	15 FT	SIDE	S	15 FT
PARKING LOT REQUIREMENTS					
MIN. PARKING PER CODE			ONE (1) SPACE PER (3) SEATS		
MIN. PARKING REQUIRED			20		
MAX. PARKING PER CODE			NONE SPECIFIED		
MAX. PARKING ALLOWED			NONE SPECIFIED		
MIN. DRIVE AISLE WIDTH			24 FT		
MAX. NO.OF PARKING BEFORE LANDSCAPE ISLAND					12
MIN. LANDSCAPE ISLAND SIZE					11' X 18'
		MIN. REQUIRED	PROPOSED		
07/19/2022.		4 BIKE SPACES PER 20,000 SQUARE FEET OF INTERIOR SPACE	5		
DRIVE-THRU STACK		5	21		
DRIVE-THRU WAITING SPACE		NONE SPECIFIED	2		
BYPASS LANE		N/A	YES		
PARKING PROPOSED					
SPACE TYPE		SIZE	NO. PROPOSED		
REGULAR		9' X 18'	43		
ACCESSIBLE		8' X 18'	2		
COMPACT		8' X 18'	4		
TOTAL			49		
SITE AREA CALCULATIONS					
SITE		±1.19 AC.	51,793 SQ. FT.		
PERVIOUS		±0.44 AC AC.	19362 SQ. FT.		
PERVIOUS PAVING		±0.44 AC AC.	19362 SQ. FT.		
IMPERVIOUS		±0.74 AC AC.	32,431 SQ. FT.		
DISTURBED		±0.97 AC.	42,315 SQ. FT.		
		MAX ALLOWED	PROPOSED		
I.S.R.		62.6%	61.7%		
BASE INFORMATION					
NO PORTION OF THIS PROPERTY IS LOCATED IN A SPECIAL FLOOD AREA AS PER F.I.R.M. MAP NO. 3720170100K, DATED 07/19/2022.					
BASE CONDITIONS PROVIDED BY R.B. PHARR & ASSOCIATES, P.A., DATED 03/26/2025 (SEE SHEET C02.0 & C02.1).					

PANDA EXPRESS STANDARD NOTES
1. THESE PLANS WERE PREPARED WITHOUT THE USE OF A GEOTECHNICAL REPORT. ASPHALT SECTIONS, CONCRETE SECTIONS, AND COMPACTION REQUIREMENTS ARE SUBJECT TO CHANGE.
2. CONTRACTOR SHALL COORDINATE AND VERIFY LOCATION OF ALL SIGNAGE WITH OWNER PRIOR TO CONSTRUCTION.
3. CONTRACTOR SHALL COORDINATE AND ADJUST LOCATION OF LOOP DETECTORS TO AVOID UTILITY CONFLICTS PRIOR TO CONSTRUCTION.
4. CONTRACTOR SHALL ENSURE 100% COVERAGE OF ALL LANDSCAPED AREAS WITHIN LIMITS OF WORK, INCLUDING POTENTIAL OFFSITE AREAS. COVERAGE SHALL INCLUDE BOTH LANDSCAPING AND IRRIGATION.

ATTENTION CONTRACTORS
THE CONTRACTOR RESPONSIBLE FOR THE EXTENSION OF WATER, SEWER, AND/OR REUSE, AS APPROVED IN THESE PLANS, IS RESPONSIBLE FOR CONTACTING THE INFRASTRUCTURE INSPECTIONS DIVISION AND SCHEDULE A PRE-CONSTRUCTION MEETING ON THE DEVELOPMENT PORTAL PRIOR TO BEGINNING ANY CONSTRUCTION. RALEIGH WATER MUST BE CONTACTED AT (919) 996-4540 AT LEAST TWENTY-FOUR HOURS PRIOR TO BEGINNING ANY WORK ACTIVITY AROUND CRITICAL WATER AND SEWER INFRASTRUCTURE.
FAILURE TO NOTIFY CITY DEPARTMENTS IN ADVANCE OF BEGINNING CONSTRUCTION, WILL RESULT IN THE ISSUANCE OF MONETARY FINES, AND REQUIRE REINSTALLATION OF ANY WATER OR SEWER FACILITIES NOT INSPECTED AS A RESULT OF THIS NOTIFICATION FAILURE.
FAILURE TO CALL FOR INSPECTION, INSTALL A DOWNSTREAM PLUG, HAVE PERMITTED PLANS ON THE JOBSITE, OR ANY OTHER VIOLATION OF CITY OF RALEIGH STANDARDS WILL RESULT IN A FINE AND POSSIBLE EXCLUSION FROM FUTURE WORK IN THE CITY OF RALEIGH.

TRAFFIC CONTROL AND PEDESTRIAN PLAN NOTES
- PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY, CLOSING OR DETOURING OF ANY STREET, LANE, OR SIDEWALK, THE CONTRACTOR MUST APPLY FOR A PERMIT WITH RIGHT-OF-WAY SERVICES. PLEASE DIRECT ANY QUESTIONS TO LHARRISON@GARNERN.COV. - THE STREET, LANE, SIDEWALK, CLOSURE PERMIT IS REQUIRED FOR ANY CLOSURE ON CITY STREETS AND ALL NC DOT STREETS WITHIN TOWN OF GARNER JURISDICTION. - A PERMIT REQUEST WITH A TYPED PLAN SHALL BE SUBMITTED TO RIGHT-OF-WAY SERVICES THROUGH THE TOWN OF GARNER PERMIT AND DEVELOPMENT PORTAL. - PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED. - ALL TYPED PLANS SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS AND STANDARDS, INCLUDING BUT NOT LIMITED TO: - MANUAL ON UNIFORM TRAFFIC CONTROL (MUTCD); - PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG); - AMERICAN DISABILITY ACT (ADA) REQUIREMENTS; - TOWN OF GARNER STREET DESIGN MANUAL (RSDM). - ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG). THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). - ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

SITE DEVELOPMENT PLANS FOR:



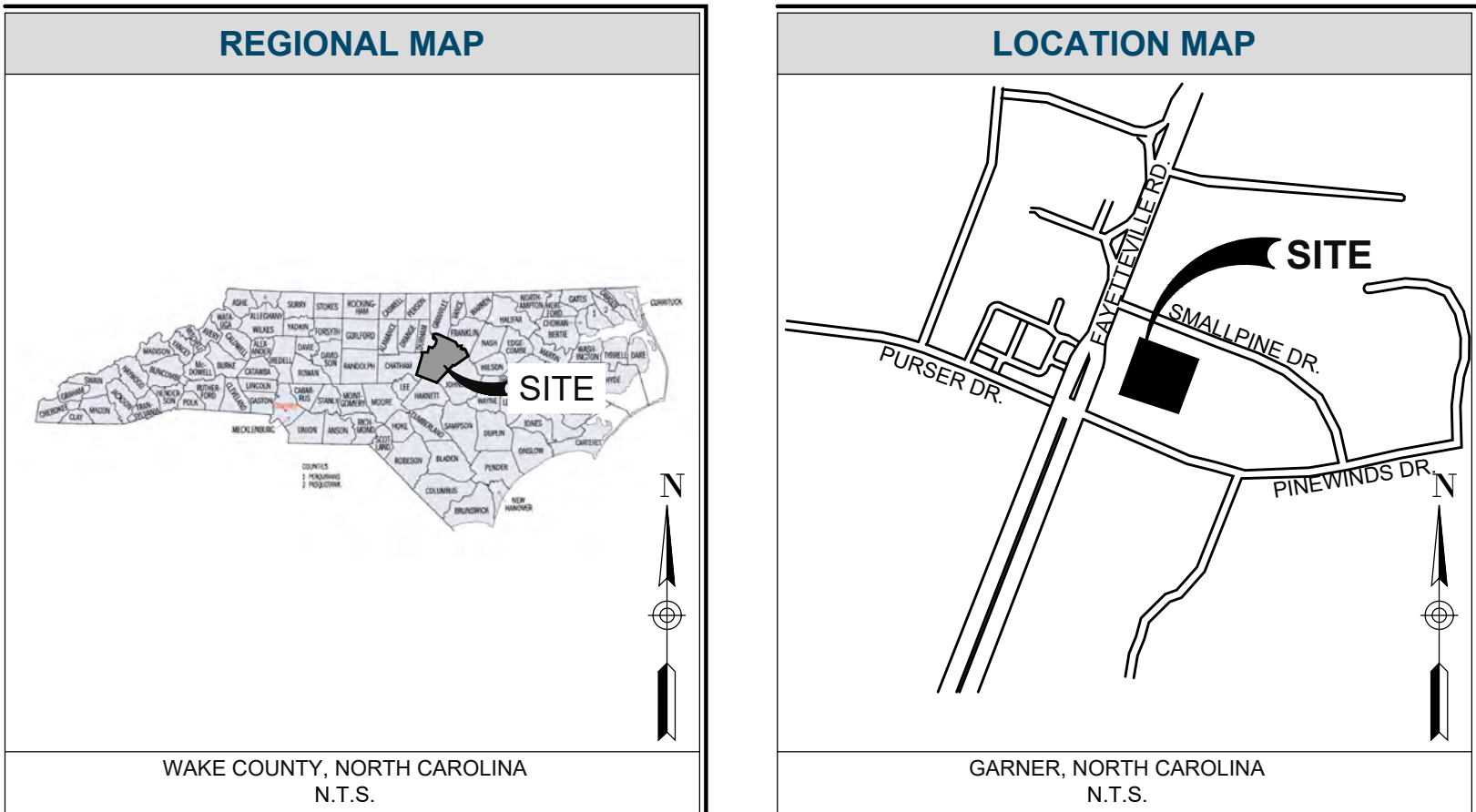
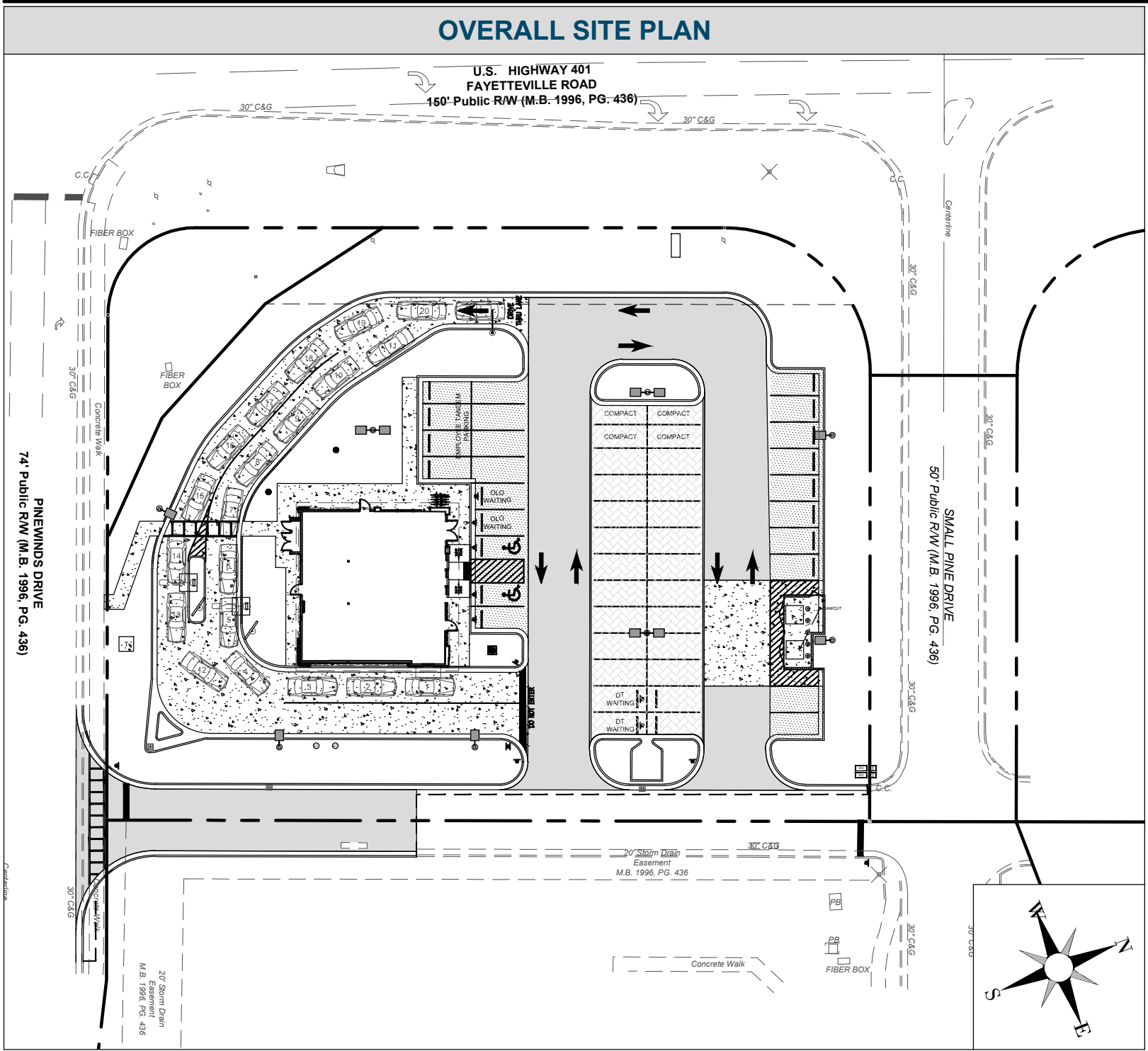
PANDA EXPRESS - GARNER
D38524, STORE: TBD
118 SMALL PINE DRIVE
RALEIGH, NC 27603
WAKE COUNTY

PREPARED BY:

INGENIUM

PREPARED FOR:

PANDA RESTAURANT GROUP
1683 WALNUT GROVE AVENUE
ROSEMEADE, CALIFORNIA 91770
PHONE: (626) 799-9898



SHEET INDEX									
NO.	TITLE	ISSUE 01 - ISSUE FOR PERMIT & CLIENT REVIEW 07/03/2025							
C01.0	COVER SHEET	●							
C01.1	GENERAL NOTES	●							
C02.0*	SURVEY I	●							
C02.1*	SURVEY II	●							
C02.2	DEMOLITION PLAN	●							
C03.0	SITE PLAN	●							
C03.1	STAKING PLAN	●							
C03.2	HARDSCAPE DETAILS I	●							
C03.3	HARDSCAPE DETAILS II	●							
C03.4	HARDSCAPE DETAILS III	●							
C04.0	UTILITY PLAN	●							
C04.1	UTILITY DETAILS I	●							
C04.2	UTILITY DETAILS II	●							
C04.3	UTILITY DETAILS III	●							
C04.4	UTILITY DETAILS IV	●							
C04.5	UTILITY DETAILS V	●							
C04.6	PIPE PROFILES I	●							
C04.7	PIPE PROFILES II	●							
C05.0	GRADING PLAN	●							
C05.1	DRAINAGE PLAN	●							
C05.2	GRADING AND DRAINAGE DETAIL I	●							
C06.0	SWPPP	●							
C06.1	ESPC PLAN I	●							
C06.2	ESPC PLAN II	●							
C06.3	ESPC PLAN III	●							
C06.4	ESPC DETAILS I	●							
C06.5	ESPC DETAILS II	●							
C06.6	ESPC DETAILS III	●							
L01.0*	STONE MULCH & EDGING PLAN	●							
L01.1*	LANDSCAPE PLANTING PLAN	●							
L01.2*	LANDSCAPE PLANTING DETAILS	●							
*SHEETS DENOTED WITH AN ASTERISK (****) ARE NOT INCLUDED IN THE DIGITAL/ELECTRONIC SEAL OF THE CIVIL ENGINEER (JEREMY PETTIT, P.E.) AND ARE INCLUDED FOR REFERENCE PURPOSES ONLY.									

PROJECT CONTACTS			
SELLER SUNTRUST BANK CASSIDY TURLEY 7700 FORSYTH BLVD FL 9 SAINT LOUIS, MO 63105-1813 PHONE: (314) 862-7100	DEVELOPER PANDA EXPRESS, INC. 1683 WALNUT GROVE AVE ROSEMEAD, CA 91770 PHONE: (626) 799-9898	CIVIL ENGINEER INGENIUM ENTERPRISES, INC. JEREMY PETTIT, P.E. 19445 SHUMARD OAKS DRIVE SUITE 102 LAND O LAKES, FL 34638 PHONE: (813) 387-0084 PERMITTING@INGENIUMENTERPRISES.COM	LANDSCAPE ARCHITECT WAS DESIGN JARED ACY 1510 NORTH STATE STREET SUITE 300 JACKSON, MISSISSIPPI 39202 PHONE: (601) 790-0781 JACY@WAS-DESIGN.COM
ARCHITECT LARSON DESIGN GROUP TAMMY DAVIS PHONE: (807) 463-2909 TMDAVIS@LARSONDESIGNGROUP.COM	MEP LARSON DESIGN GROUP TAMMY DAVIS PHONE: (807) 463-2909 TMDAVIS@LARSONDESIGNGROUP.COM	LAND SURVEYOR R.B PHARR & ASSOCIATES, P.A. SURVEYING & MAPPING 969 E. 7TH STREET, SUITE 100, CHARLOTTE, N.C. 28204 PHONE: (704) 376-2186	SITE LIGHTING VILLA LIGHTING RYAN ZINSELMEIER 2829 CHOUTEAU AVENUE SAINT LOUIS, MISSOURI 63103 PHONE: (341) 633-0423 RYAN.ZINSELMEIER@VILLALIGHTING.COM
SIGNAGE ALLEN INDUSTRIES MR. CRAIG CLOE 4100 SHERATON COURT GREENSBORO, NC 27410 PHONE: (336) 615-8732 CRAIG.CLOE@ALLENINDUSTRIES.COM	PLANNING TOWN OF GARNER - PLANNING JEFF TRIEZENBERG - PLANNING DIRECTOR 900 7TH AVE GARNER, NC 27529 PHONE: (919) 773-4445 JTRIEZENBERG@GARNERN.COV	MUNICIPAL SEWER AGENCY CITY OF RALEIGH PUBLIC UTILITIES AUSTIN BAIN - ENGINEER ONE EXCHANGE PLAZA RALEIGH, NC 27601 PHONE: (919) 996-3245 PUBLICUTILITIESINFO@RALEIGHNC.GOV WATERREVIEW@RALEIGHNC.GOV	MUNICIPAL WATER AGENCY CITY OF RALEIGH PUBLIC UTILITIES AUSTIN BAIN - ENGINEER ONE EXCHANGE PLAZA RALEIGH, NC 27601 PHONE: (919) 996-3245 PUBLICUTILITIESINFO@RALEIGHNC.GOV WATERREVIEW@RALEIGHNC.GOV
GAS ENBRIDGE GAS SHAWN PHILLIPS PHONE: (919) 959-0175 SHAWN.PHILLIPS@ENBRIDGE.COM	TELEPHONE/CABLE AT&T SEAN L. SL5061@ATT.COM	FIRE TOWN OF GARNER - INSPECTIONS AND PERMITS BILL LAMM - FIRE CODES ADMINISTRATOR 900 7TH AVE GARNER, NC 27529 PHONE: (919) 773-4428 VLAMM@GARNERN.COV	ELECTRIC DUKE ENERGY RANDY ENNIS - LEAD ENGINEERING TECHNOLOGIST 9920 FAYETTEVILLE ROAD RALEIGH, NC 27603 (800) 636-0581 RANDY.ENNIS@DUKE-ENERGY.COM

Water and Sewer Permits (If applicable)

The City of Raleigh consents to the connection and extension of the City's **Public Sewer System** as shown on this plan. The material and Construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook. **City of Raleigh Public Utilities Department Permit #** _____

The City of Raleigh consents to the connection and extension of the City's **Public Water System** as shown on this plan. The material and Construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook. **City of Raleigh Public Utilities Department Permit #** _____

The City of Raleigh consents to the connection to its **Public Sewer System** and extension of the private sewer collection system as shown on this plan. The material and constructions methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook. **City of Raleigh Public Utilities Department Permit #** _____

CONTRACTOR SHALL FIELD VERIFY ALL EXISTING FEATURES, INCLUDING BUT NOT LIMITED TO, UTILITIES, EXISTING IMPROVEMENTS, ETC. CONTRACTOR SHALL VERIFY THEIR LOCATIONS AND ELEVATIONS PRIOR TO STARTING CONSTRUCTION AND ALERT ENGINEER TO ANY DISCREPANCIES IMMEDIATELY

CITY OF RALEIGH STANDARD UTILITY NOTES SEE SHEET C01.2



24-HOUR CONTACT:
DUSTIN SCOLES
828-460-1272



PANDA EXPRESS, INC.
1683 WALNUT GROVE AVE.
ROSEMEAD, CALIFORNIA 91770
TELEPHONE: 626.799.9898
FACSIMILE: 626.372.8288

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:

ISSUE DATE:
PERMIT/BID 07/03/2025

DRAWN BY: KG

PANDA PROJECT #: D38524
PANDA STORE #TBD
CIVIL PROJECT #: 250009



INGENIUM ENTERPRISES, INC.
19445 SHUMARD OAK DR.
SUITE 102
LAND O LAKES, FL 34638
PHONE: (813) 387-0084
NCBEEs CERTIFICATE #C-4114

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY JEREMY PETTIT, PE ON THE DATE ADJACENT TO THE SEAL ON THE COVER SHEET (C01.0) USING A SHA AUTHENTICATION CODE.

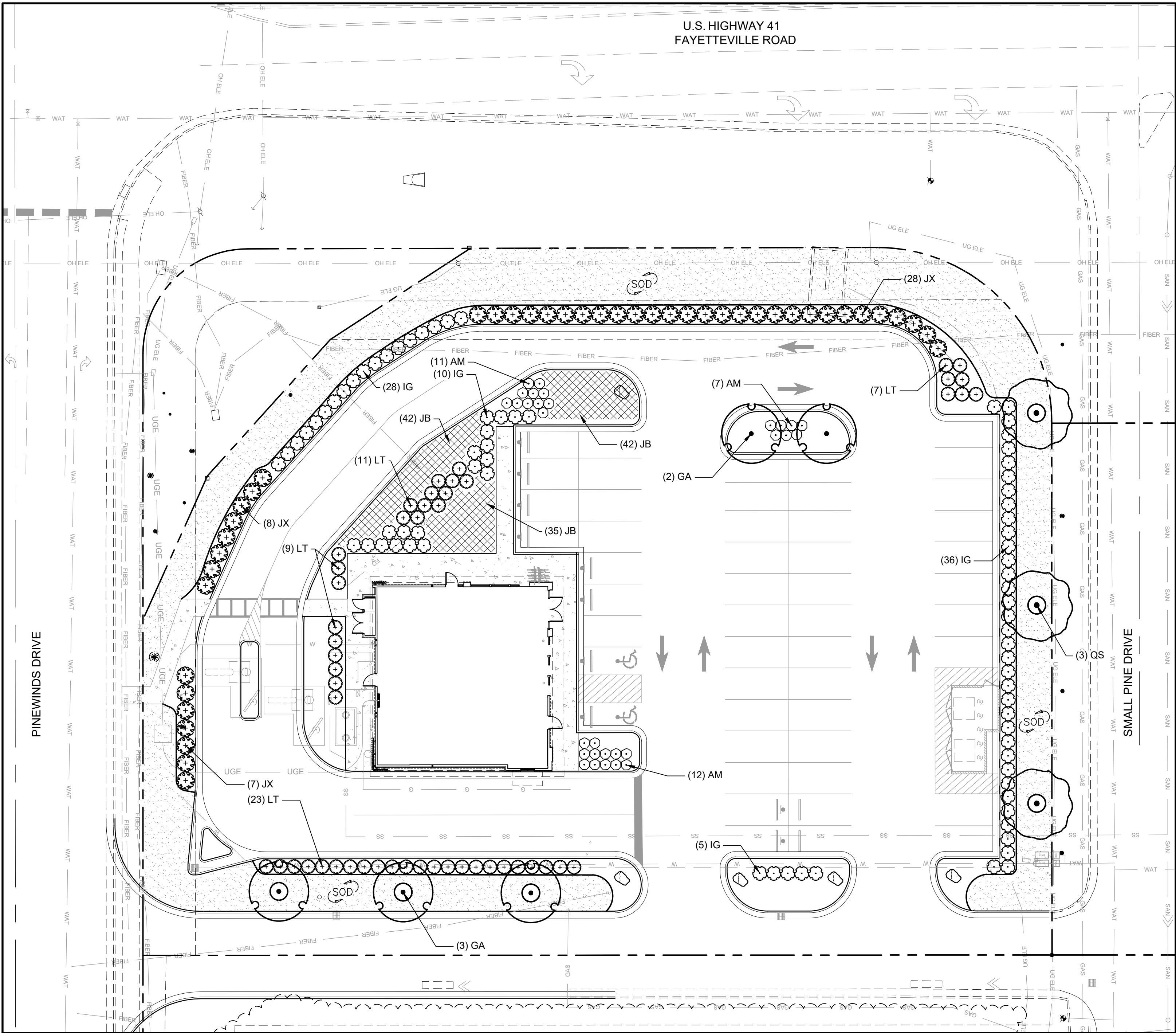
PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SHA AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.



COVER SHEET

C01.0

PANDA HOME SQUARE ESSENTIALS



1 LANDSCAPE PLANTING PLAN
Scale: 1"= 20'-0"

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	HT
TREES						
	GA	5	GINKGO BILOBA 'AUTUMN GOLD' / AUTUMN GOLD MAIDENHAIR TREE	30 GAL	2d	8'-10'
	QS	3	QUERCUS SHUMARDII / SHUMARD OAK	30 GAL	2d	8-10' H
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT	HT	SPACING
SHRUBS						
	AM	30	ABELIA X 'MARDI GRAS' / MARDI GRAS ABELIA	3 GAL	16"-18"	36" o.c.
	IG	82	ILEX GLABRA / INKBERRY HOLLY	3 GAL	24"-30"	48" o.c.
	JX	43	JUNIPERUS X 'GREY OWL' / GREY OWL JUNIPER	3 GAL	18"-24"	60" o.c.
	LT	50	LOROPETALUM CHINENSE 'PURPLE DIAMOND' / PURPLE DIAMOND® LOROPETALUM	3 GAL	18"-24"	48" o.c.
GROUND COVERS						
	JB	119	JUNIPERUS HORIZONTALIS 'BLUE RUG' / BLUE RUG JUNIPER	1 GAL		36" o.c.
SOD						
	CH2	7,878 SF	CYNODON DACTYLON '419 HYBRID' / 419 HYBRID BERMUDAGRASS	SOD		

QUANTITY TAKEOFF DISCLAIMER:
QUANTITIES NOTED ON PLANS ARE OFFERED AS A CONVENIENCE
TO THE CONTRACTOR FOR BID PURPOSES ONLY. CONTRACTOR
SHALL VERIFY ALL QUANTITIES AND REPORT ANY DISCREPANCIES
TO THE LANDSCAPE ARCHITECT.



PANDA EXPRESS, INC.

1683 WALNUT GROVE AVE.
ROSEMAD, CALIFORNIA 91770

TELEPHONE: 626.799.9698
FACSIMILE: 626.372.8288

REVISIONS:

ISSUE DATE:

PERMIT/BID
07/03/2025

DRAWN BY: ALW

PANDA PROJECT #: D38524

PANDA STORE #TBD

WAS DESIGN PROJECT #: 252056-142

landscape architecture
land planning
placemaking
Foley, Alabama
P: 251.948.7181
Mobile, Alabama
P: 251.344.4023
Jackson, Mississippi
P: 601.790.0781
www.was-design.com

LANDSCAPE
PLANTING PLAN

L01-1

PANDA HOME SQUARE ESSENTIALS