

# SITework CONSTRUCTION PLANS

## To Serve

# BANK OF AMERICA

807 US 70 HWY E

IN THE CITY OF GARNER,

WAKE COUNTY, NORTH CAROLINA

INFRASTRUCTURE INSPECTION TABLE	
GARNER ENGINEERING	
LINEAR FOOTAGE OF PUBLIC STREETS	0
LINEAR FOOTAGE OF PUBLIC SIDEWALKS	0
NUMBER OF STORMWATER CONTROL MEASURES (SCM'S)	
CITY OF RALEIGH PUBLIC UTILITIES	
LINEAR FOOTAGE OF PUBLIC WATERMAIN (BY SIZE)	0
LINEAR FOOTAGE OF PUBLIC SEWERMAIN (BY SIZE)	0
LINEAR FOOTAGE OF PRIVATE WATERMAIN (BY SIZE)	± 215
LINEAR FOOTAGE OF PRIVATE SEWERMAIN (BY SIZE)	± 187
NUMBER OF WATER STUBS/TIES (INCLUDES ALL NEW TAPS, NEW WATER SERVICE STUBS, AND HYDRANT STUBS ON EXISTING WATERMAINS	1
NUMBER OF WATER METER(S) FOR DOMESTIC (BY SIZE)	1
NUMBER OF WATER METER(S) FOR IRRIGATION (BY SIZE)	0
NUMBER OF SEWER SERVICES (BY SIZE)	1

SITE DATA	
PROJECT ADDRESS	807 US 70 HWY E, GARNER, NC 27529
PIN NUMBER	1720385960
TOTAL ACREAGE	1.10 AC (47,869 SF)
TOTAL DISTURBED AREA	1.20 AC
EXISTING IMPERVIOUS AREA	0 AC
PROPOSED IMPERVIOUS AREA	0.78 AC
FUTURE IMPERVIOUS AREA	

CLIENT REPRESENTATIVE

JLL  
CONTACT: ROBERT LOUDERMILK  
PHONE: (704) 564-0285  
EMAIL: ROBERTLOUDERMILK@JLL.COM

## ARCHITECT

NELCO ARCHITECTURE, INC.  
CONTACT: ANDREW WEHLER  
PHONE: (216) 830-1554  
EMAIL: AWEHLER@NELSONWWW.COM

# CIVIL ENGINEERING

LANGAN  
CONTACT: SHAWN HILL  
PHONE: (903) 324-8400  
EMAIL: SHILL@LANGAN.COM

## LANDSCAPE ARCHITECTURE

LANGAN  
CONTACT: BEN HENRY  
PHONE: (817) 328-3200  
EMAIL: BHENRY@LANGAN.COM

## SURVEYOR

**LANGAN ENGINEERING & ENVIRONMENTAL  
SERVICES, LLC**  
1818 MARKET STREET, SUITE 3300  
PHILADELPHIA, PA 19103  
CONTACT: SHAUN HIGGINS  
PHONE: (215) 845-8917  
EMAIL: [SHIGGINS@LANGAN.COM](mailto:SHIGGINS@LANGAN.COM)



# SITE MAP

SCALE 1" = 500'



JULY 2025

LANGAN PROJECT NO. 532050901

Sheet List Table	
Sheet Number	Sheet Title
C1.0	COVER SHEET
C1.1	GENERAL NOTES
VL101	ALTA LAND TITLE SURVEY
C2.0	DEMOLITION PLAN
C2.1	EROSION & SEDIMENT CONTROL PLAN
C3.0	SITE PLAN
C4.0	GRADING PLAN
C5.0	EXISTING DRAINAGE AREA MAP
C5.1	PROPOSED DRAINAGE AREA MAP
C5.2	DRAINAGE PLAN
C6.0	UTILITY PLAN
C7.0	EROSION CONTROL DETAILS
C7.1	WATER DETAILS
C7.2	SANITARY SEWER DETAILS
C7.3	DRAINAGE DETAILS
C7.4	PAVING DETAILS
C7.5	TOWN OF GARNER DETAILS
L1.0	LANDSCAPE PLAN
L1.1	LANDSCAPE DETAILS

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN  
OF GARNER, CITY OF RALEIGH, AND/OR NCDOT STANDARDS AND  
SPECIFICATIONS AS APPLICABLE

PLEASE CONTACT TOWN OF GARNER ENGINEERING INSPECTOR AT  
ENG-INSPECTIONS@GARNERNC.GOV TO SCHEDULE A  
PRE-CONSTRUCTION MEETING PRIOR TO OBTAINING BUILDING  
PERMITS FOR THIS PLAN

CONTACT THE NORTH CAROLINA ONE CALL CENTER PRIOR  
TO DOING ANY DIGGING. 1-800-632-4949

## **ATTENTION CONTRACTORS**

The **Construction Contractor** responsible for the extension of water, sewer, or gas, as addressed in these plans, is responsible for **contacting the Public Utilities Department at (919) 996-4540 at least twenty four hours** prior to beginning any of their construction.

***Failure*** to notify both the **City Departments** in advance of beginning construction, will result in the issuance of **monetary fines**, and require reinstatement of any water or sewer facilities not inspected as a result of this notification failure.

***Failure*** to call for **Inspection, Install a Downstream Plug**, have **Permitted Plans** on file or **obtain**, or any other **Violation of City of Raleigh** Standards will result in a **Fine and Possible Exclusion** from future work in the **City of Raleigh**.

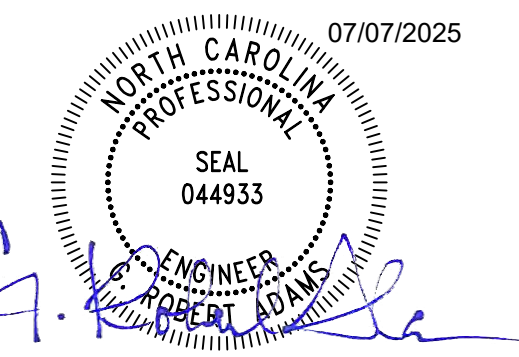
Town of Garner  
Engineering Department

**APPROVED**

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SIGNED \_\_\_\_\_ DATE \_\_\_\_\_

07/07/2025	IF SITE PLAN SUBMITTAL	2
05/23/2025	IF LL REVIEW	1
Date	Description	No
	Revisions	



**LANGAN**

Langan Engineering and  
Environmental Services, LLC  
227 W. Trade Street, Suite 320  
Charlotte, NC 28202

T: 980.270.3900      [www.langan.com](http://www.langan.com)

BANK OF AMERICA

807 US 70 HWY E

CITY OF GARNER

WAKE COUNTY NORTH CAROLINA

Drawing Title

# COVER SHEET

Project No.	Drawing No.
<b>532050901</b>	
Date	
<b>JULY 2025</b>	
Drawn By	<b>C1.0</b>
<b>CWH</b>	
Checked By	
<b>BRH</b>	



- SYMBOL KEY**
- CROSSWALK / PED. CROSSING  
TYPICAL SEE PAVING DETAILS
  - TYPICAL ACCESSIBLE PARKING  
SPACES SEE PAVING DETAILS  
(TYP)
  - INSTALL BARRIER FREE RAMP  
(BFR) REFER TO PAVING DETAILS  
(TYP)
  - INSTALL TOWN OF GARNER  
TYPE N-1 CURB RAMP
  - ACCESSIBLE PARKING SIGNAGE  
IN BOLLARD PER DETAIL
  - VAN ACCESSIBLE PARKING  
SIGNAGE IN BOLLARD PER  
DETAIL
  - TRANSITION CURB
  - PROPOSED DRAINAGE
  - STRUCTURE. REFER TO  
DRAINAGE PLAN (TYP)
  - LIGHT POLE (REF. MEP)
  - FLAGPOLE PER BANK STANDARD
  - BIKE RACK PER BANK STANDARD

PARKING REQUIRED  
MINIMUM: 1 SPACE PER 500 SF GFA  
±4622/500 = 10 SPACES

MAXIMUM: N/A

PARKING PROVIDED: 32 SPACES

ADA PARKING STALLS REQUIRED: 2  
ADA PARKING STALLS PROVIDED: 2 (1 VAN ACCESSIBLE)

CONTACT THE TOWN OF GARNER ENGINEERING DEPARTMENT  
PRIOR TO CONVERSION OF ANY SCM ONSITE FROM AN EROSION  
CONTROL DEVICE TO A STORMWATER CONTROL MEASURE.

THE TOWN WILL BE RESPONSIBLE FOR PAYMENT OF THE MONTHLY  
COSTS FOR PUBLIC STREET LIGHTING AND THE DEVELOPER WILL  
BE RESPONSIBLE FOR ALL INITIAL FEES AND CHARGED WITH THE  
LIGHT INSTALLATION. ALL INSTALLATION FEES ARE REQUIRED TO  
BE PAID UP FRONT AT THE TIME OF INSTALLATION.

MAIL KIOSK PARKING INSIDE PUBLIC RIGHTS OF WAY ARE NOT  
MAINTAINED BY THE TOWN OF GARNER. ANY PARKING SPACES  
ALONG A PUBLIC STREET SHALL BE SEPARATED BY A 2' WIDE X 8"  
DEEP CONCRETE BAND TO SEPARATE PUBLIC STREET FROM  
PRIVATE PARKING MAINTENANCE.



Know what's below.  
Call before you dig.

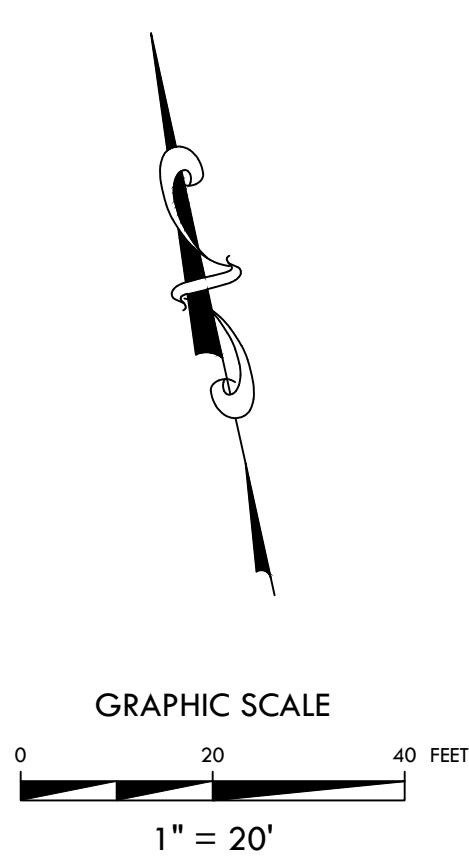
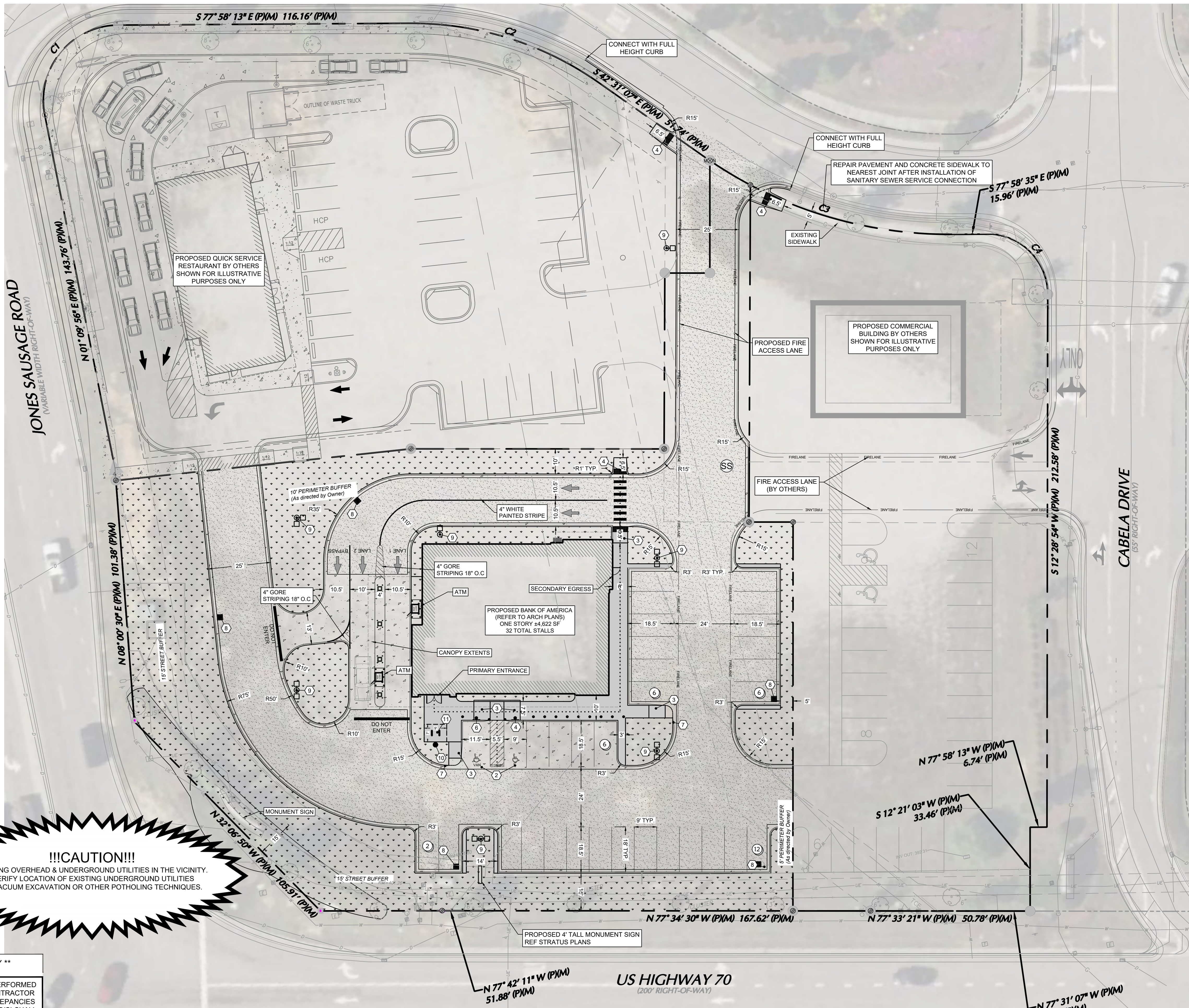
THESE PLANS ARE SUBJECT TO REVIEW &  
APPROVAL BY JURISDICTIONAL ENTITIES.

**\*\* NOTICE TO CONTRACTORS - TOPOGRAPHIC SURVEY \*\***

TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED  
BY LANGAN ENGINEERING & ENVIRONMENTAL SERVICES, LLC. THE CONTRACTOR  
SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES  
OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL  
BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY  
BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY  
SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE  
CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND  
ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS  
VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS  
INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION  
(HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES  
SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S)  
SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE  
FOUND ON THE CONSTRUCTION DOCUMENTS (PS&E), WHICH NEGATIVELY IMPACT  
THE PROJECT. THE ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS  
AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY  
ENGINEER AND OWNER.

**\*\*NOTICE TO CONTRACTORS - UTILITIES\*\***

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR  
ELEVATION OF ANY EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED  
ON RECORDS OF THE VARIOUS UTILITY COMPANIES, THE GOVERNING  
MUNICIPALITY, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE  
INFORMATION PROVIDED IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE.  
THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48  
HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF  
UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE  
ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS  
SHOWN ON THESE PLANS.



LEGEND	
PROPERTY LINE	---
PROPOSED FACE AND BACK OF CURB	=====
PROPOSED HOT MIX ASPHALT PAVEMENT	[Pattern]
PROPOSED REINFORCED CONCRETE PAVEMENT	[Pattern]
PROPOSED REINFORCED CONCRETE SIDEWALK	[Pattern]
LANDSCAPE AREA	[Pattern]
PROPOSED SIGN	[Symbol]
PARKING COUNT	[Symbol]
ACCESSIBLE ROUTE	.....
PAINTED TRAFFIC ARROW	[Symbol]
CONCRETE BOLLARD (REFER TO ARCH DETAIL)	[Symbol]
PROPOSED LIGHT POLE (REFER TO GMR PLANS)	[Symbol]

07/07/2025	IF SITE PLAN SUBMITTAL	2
05/23/2025	IF LL REVIEW	1
Date	Description	No.
Revisions		

07/07/2025

NORTH CAROLINA PROFESSIONAL SEAL 044933

ENGINEER ROBERT ADAMS

**LANGAN**

Langan Engineering and Environmental Services, LLC  
227 W. Trade Street, Suite 320  
Charlotte, NC 28202

T. 980.270.3900 www.langan.com

**BANK OF AMERICA**

807 US 70 HWY E

CITY OF GARNER

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Drawing Title

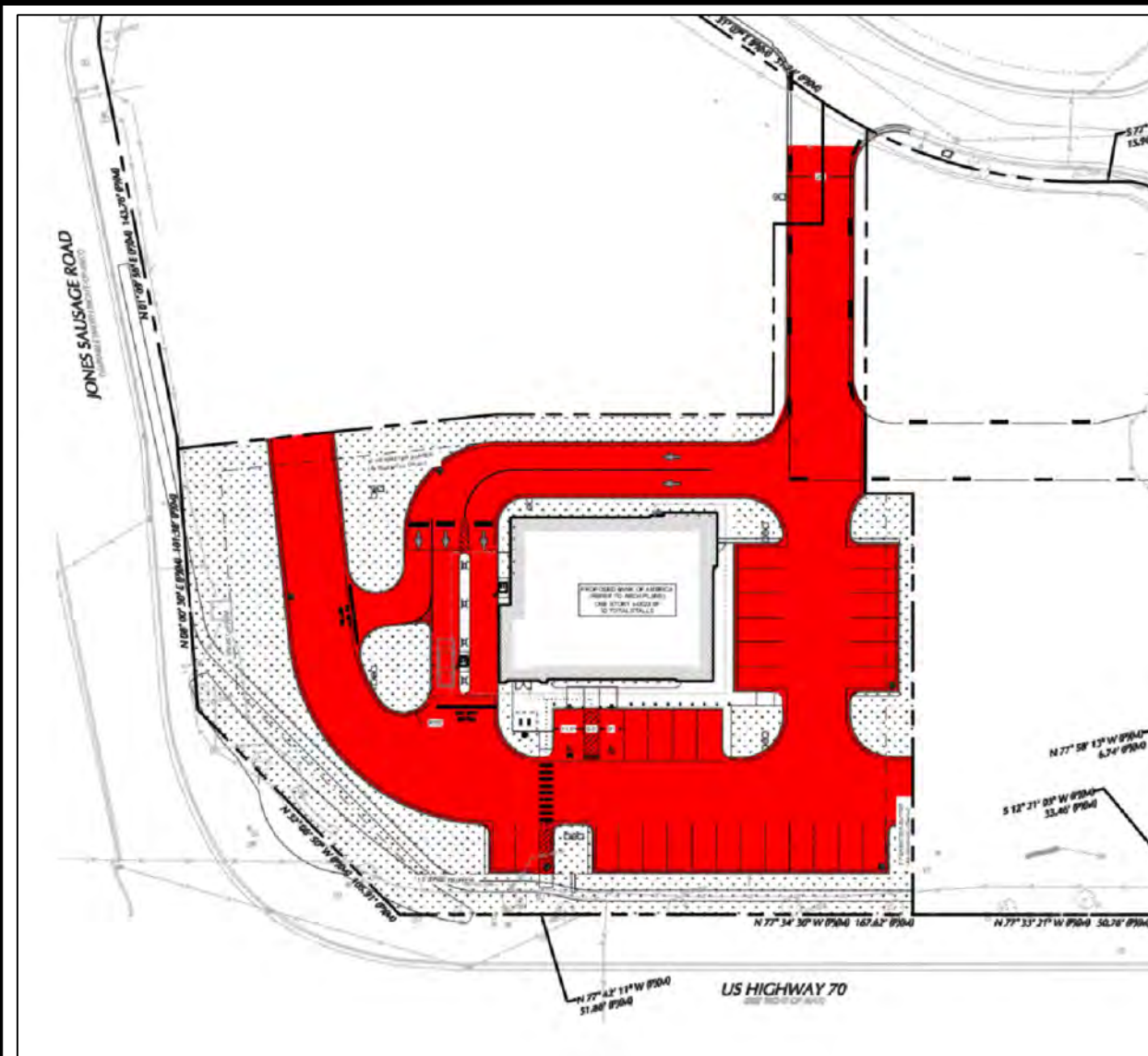
SITE PLAN	
Project No.	Drawing No.
532050901	C3.0
Date	JULY 2025
Drawn By	CWH
Checked By	BRH

Town of Garner Engineering Department

**APPROVED**

SIGNED \_\_\_\_\_ DATE \_\_\_\_\_





### CALCULATED VEHICULAR SURFACE AREA

#### REQUIRED PLANTING COMPONENTS per Article 7.1:

- 1) TREE CANOPY COVER
- 2) TREE PRESERVATION
- 3) BUFFERS, YARDS, VEHICULAR SURFACE AREA (VSA) AND STREET TREES
- 4) SCREENING OF OBJECTIONABLE VIEWS (NOT APPLICABLE)

#### SITE LANDSCAPE CALCULATIONS

TOTAL SITE AREA = 1.92 ACRES  
TOTAL VSA = 25236 SF

TOTAL PAVEMENT AREA PROVIDED = 1.14 ACRES

STREET TREE REQUIREMENT (Section L.)  
40' oc of Right-of-Way Length  
Required:  $101.38' + 105.91' + 167.62' = 375' (374.91') / 40 = 9 (9.37)$  Trees  
Provided: 6 Existing Trees + 4 Proposed = 10 Trees

CORNER STREET YARD AREA (Section L.)  
Street Yard #1 =  $19,611 \text{ sf} \times 0.25 = 4,902 (4,902.27)$  Points Req.  
Required 50% Trees / Shrubs: 245 points each  
Provided Trees:  
Provided Shrubs:  
Street Yard #2 =  $10,638 \text{ sf} \times 0.25 = 2,659 (2,659.55)$  Points Req.  
Required 50% Trees / Shrubs: 133 points each  
Provided Trees:  
Provided Shrubs:

SIDE AND REAR YARD AREA (Section L.)  
996 sf North (Rear) + 349 sf East (Side) = 1,345 sf x 0.02 = 26.9 Points Req.  
Required 50% Trees / Shrubs: 13.45 points each  
Provided Trees:  
Provided Shrubs:

VEHICULAR SURFACE AREA (VSA) (Section L.)  
25,236 sf (see exhibit above) x 6% = 1,514 sf required  
Provided: 8,000 sf

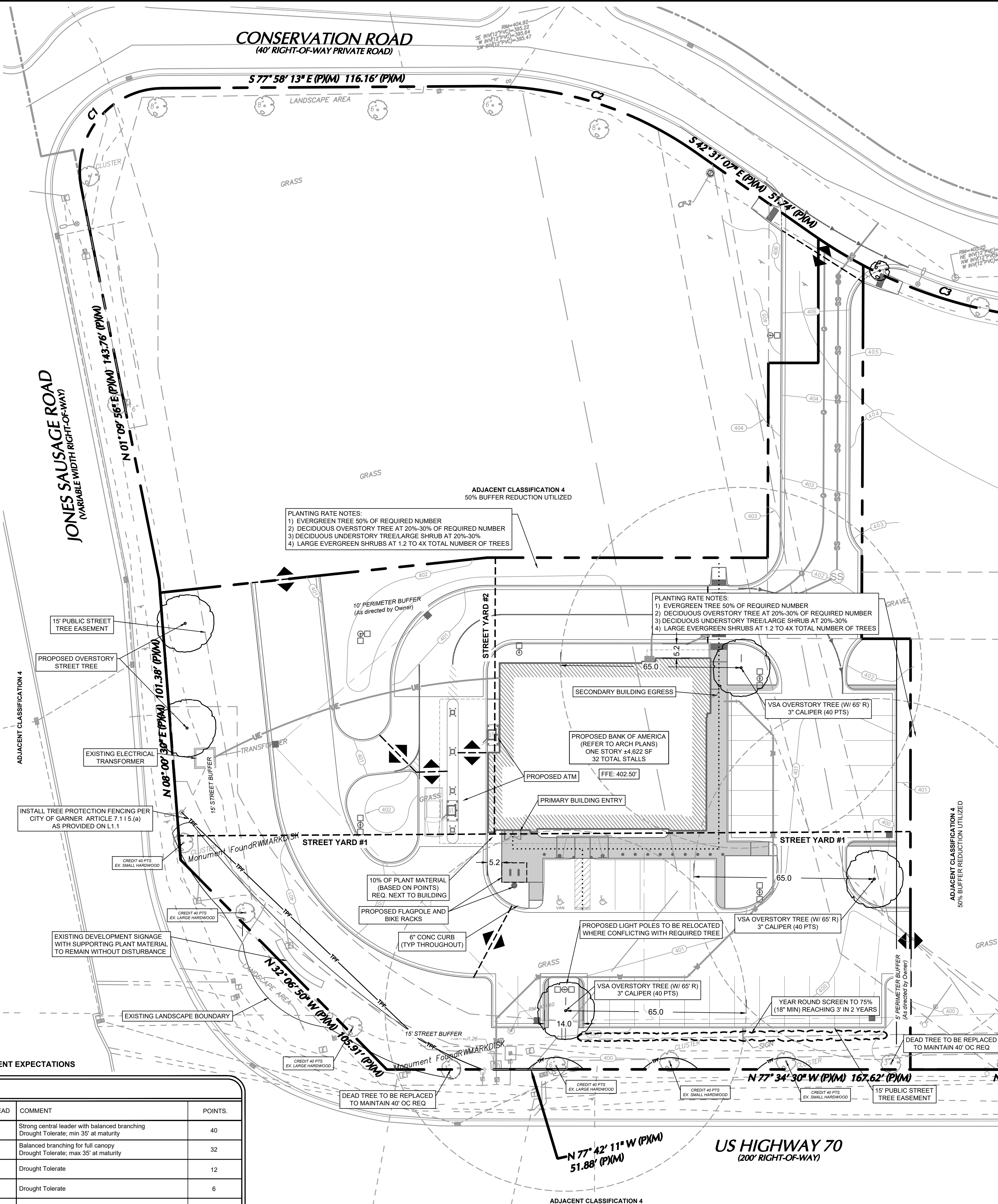
Minimum Total Tree Cover Area Required: 12%  
Town of Garner Planting Manual (Appendix E) not found

REVIEWER NOTE: THE INITIAL PURPOSE OF THIS PLAN IS TO CONFIRM REQUIREMENT EXPECTATIONS

#### LANDSCAPE MATERIALS LIST

SYM.	KEY	QTY.	COMMON NAME SCIENTIFIC NAME	O.C.	ROOT	SIZE	HEIGHT	SPREAD	COMMENT	POINTS.
	XX	X	Large Canopy Tree xx		Cont.	3" cal.	14' min		Strong central leader with balanced branching Drought Tolerant; min 35' at maturity	40
	XX	X	Small Canopy Tree xx		Cont.	1.5" cal.	9' min		Balanced branching for full canopy Drought Tolerant; max 35' at maturity	32
	XX	X	Shrubs xx		Cont.	15 gal.	6' min		Drought Tolerant	12
	XX	X	Shrubs xx		Cont.	5 gal.	2' min		Drought Tolerant	6
	XX	X	Shrubs xx		Cont.	1 gal.	<18"		Drought Tolerant	1

In Accordance to the Current Edition of The American Standard for Nursery Stock



#### LANDSCAPE PROJECT NOTES

Notify Landscape Architect or designated representative of any layout discrepancies or any condition which may prohibit the installation as shown.

Verify and locate all utilities and site lighting conduits before landscape construction begins. Protection of all utilities is the responsibility of the Contractor.

All landscape planting areas illustrated shall be graded smooth with three inches (3") of topsoil and four inches (4") of compost applied and consistently blended (titled) to a depth of nine inches (9"). Incorporate lime 9 and a balanced fertilizer within the top 2" - 4" of soil per Article 7.1 J, 3 (b). If adequate or sufficient topsoil is not available on site, the Contractor shall provide topsoil per the specifications and approved by the Owner. To obtain final grade, excavation may be necessary to accept the required depth of topsoil/compost mix with surface dressing or mulch. All beds shall be crowned to anticipate settlement and ensure drainage without disrupting surrounding planned drainage paths. Any areas disturbed for any reason prior to final acceptance of the project shall be corrected by the Contractor at no additional expense to the Owner.

All landscaped areas will be irrigated with a temporary system (2-year maximum) until plant material is established.

All trees and shrubs shall be installed per planting details.

Trees shall be planted at least five feet (5') from any utility line or sidewalk, to the outside of utility easements with a clear ten feet (10') around fire hydrants and twenty feet (20') min. from all irrigation control zone meter boxes, etc. Furthermore, planting within areas of turf shall give priority of location to irrigation. Trees, shall not be planted within five feet (5') of a spray head or ten feet (10') of a rotor. Remaining irrigation components shall respect the location of the illustrated landscape design. Shrubs, regardless of type, shall not be planted within thirty inches (30") of bed perimeters.

All plant material shall be maintained in a healthy and growing condition, and must be replaced with similar variety and size if damaged or removed. Container grown plant material is preferred.

All planting beds as designated shall be bordered by Owner approved four inch (4") black steel edging w/  $\frac{3}{8}$ " min. thickness unless bed is bordered by concrete. Steel edging adjacent to decorative rock beds shall have a  $\frac{1}{2}$ " min. thickness. Terminate edging flush with paved surface with no sharp corners exposed.

A four inch (4") dressing of Shredded hardwood mulch over a 4.1 oz. woven polypropylene, needle-punched fabric or equal weed barrier shall be used in all plant beds and around all trees and within all beds with plants spaced 18" o.c. or greater. Single trees or shrubs shall be mulched to the outside edge of the saucer or landscape island (See planting details).

Fertilize all plants at the time of planting with 10-10-10 time release fertilizer.

All areas of surface rock as designated shall be locally available and of an average diameter of one and one-half inches (1 1/2") minimum to three inches (3") maximum. Contractor shall install to a depth of three inches (3"). Rock should be compacted and stable under foot when applied in a pedestrian area.

#### SOD PROJECT NOTES

##### EROSION CONTROL:

Throughout the project and the maintenance period for turfgrass, it is the Contractor's responsibility to maintain the topsoil in place at specified grades. Topsoil and turfgrass losses due to erosion or any disturbance from construction activity will be replaced by the Contractor until ESTABLISHMENT and ACCEPTANCE is achieved.

##### SOIL PREPARATION:

All slopes and areas disturbed by construction, except those occupied by buildings, structures, or paving shall be graded smooth and four (4") inches of topsoil applied. If adequate topsoil is not available onsite, the Contractor shall provide topsoil as approved by the Owner. The area shall be dressed to typical sections and plowed to a depth of five (5") inches. Soil shall be further prepared by the removal of debris, weeds and stones larger than 3/4 inch in diameter. After tillage and cleaning, all areas to receive turf shall be leveled, fine graded, and drag with a weighted spike harrow or float drag.

##### GRASS SOD:

Turfgrass sod shall match that used by the surrounding development. Sod shall consist of leaf blades, and rhizomes with a healthy, virile system of dense, thickly matted roots throughout the soil of the sod for a thickness not less than three-quarters (3/4") inch. Sod shall be alive, healthy, vigorous, free of insects, disease, stones, and undesirable foreign materials and grasses. The grass shall have been mowed prior to sod cutting so that the height of grass shall not exceed two (2") inches. Sod shall have been produced on growing beds of clay-loam topsoil. Sod shall not be harvested or planted when its moisture condition is so excessively wet or dry that its survival will be affected. All sod is to be harvested, delivered, and planted within a thirty-six (36) hour period of time. Sod shall be protected from exposure to wind, sun, and freezing.

##### IRRIGATION:

In the absence of an irrigation system or areas beyond the coverage limits of a permanent irrigation system, Contractor shall water sod temporarily to develop adequate growth and establishment before regular maintenance begins. Turf shall be watered until firmly established.

Water shall be furnished by the Contractor with means and methods available to achieve acceptable turf. The water source shall be clean and free of industrial wastes or other substances harmful to the growth of the turf.

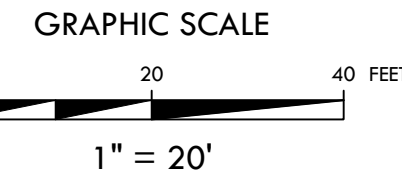
##### MAINTENANCE REQUIREMENTS:

Vegetation should be inspected regularly to ensure that plant material is established properly and remains healthy. Mowing, trimming and supervision of water applications shall be the responsibility of the Contractor until the Owner or Owner's Representative accepts and assumes regular maintenance.

##### ESTABLISHMENT AND ACCEPTANCE:

All disturbed areas receiving sod shall receive topsoil as specified and be adequately established with turf such that any absence of water will not kill the turf, but promote a state of turf dormancy, until the next rainfall event.

Contractor to make a written request for inspection to Owner or Owner's representative a minimum of 5 days prior to the anticipated inspection date.



Know what's below.  
Call before you dig.

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APPROVAL BY JURISDICTIONAL ENTITIES.

#### SECTIONS OF CODE (ARTICLE 7.1) OF INTEREST TO OWNER:

See Plan Sheet L.1.

- COMPLETION OF WORK / LETTER OF CREDIT ARTICLE 7.1 F,
- SEVEN PRINCIPLES OF XERISCAPING ARTICLE 7.1 J.3,
- MAINTENANCE REQUIREMENTS ARTICLE 7.1 N,

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**LANDSCAPE PLAN**

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532050901	L1.0
Date	
JULY 2025	
Drawn By	
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