

# TIMBER DRIVE EAST MIXED USE

## SPECIAL USE PERMIT & SITE PLAN

O WHITE OAK ROAD  
GARNER, NORTH CAROLINA 27529

TOWN OF GARNER CASE # SUP-SP-23-03

## SPECIAL USE PERMIT & SITE PLAN

PROJECT NUMBER: SPEC-21076

DATE: AUGUST 4, 2023

REVISED: JULY 3, 2024

### ARCHITECTURAL SHEETS

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- A1.01 BUILDING 12 ELEVATION RENDERINGS
- A1.02 GROCERY ELEVATION RENDERINGS
- A1.03 APARTMENT RENDERINGS
- A1.04 APARTMENT ELEVATION
- A1.05 APARTMENT ELEVATION

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- C1.01 EXISTING CONDITIONS - AREA 1
- C1.02 DEMOLITION PLAN
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- C2.02 SITE PLAN - AREA 'B'
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- C3.00 OVERALL GRADING AND STORM DRAINAGE PLAN
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- C8.00 SITE DETAILS
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- L5.06 LANDSCAPE NOTES AND DETAILS
- L8.00 OVERALL TREE CONSERVATION PLAN
- 24-0131A LIGHTING PLAN (SHEET 1 OF 5) (BY DUKE ENERGY)
- 24-0131A LIGHTING PLAN (SHEET 2 OF 5) (BY DUKE ENERGY)
- 24-0131A LIGHTING PLAN (SHEET 3 OF 5) (BY DUKE ENERGY)
- 24-0131A LIGHTING PLAN (SHEET 4 OF 5) (BY DUKE ENERGY)
- 24-0131A LIGHTING PLAN (SHEET 5 OF 5) (BY DUKE ENERGY)

### PARKING DATA:

PHASE 1						
TYPE	REQUIRED VEHICULAR PARKING SPACES	PROVIDED VEHICULAR PARKING SPACES	REQUIRED BICYCLE PARKING SPACES	PROVIDED BICYCLE PARKING SPACES	REQUIRED EV PARKING SPACES	PROVIDED EV PARKING SPACES
APARTMENTS	276 X 1.6 + 276 / 8 = 477	478 SPACES (11 ADA, 5 VAN)	(84*1+164*2+28*3) / 10 = 50	50 SPACES	(477 - 100) / 100 + 2 = 6	6 SPACES (2 ADA)
GROCERY	54,336 / 250 = 218	302 SPACES (11 ADA, 10 VAN)	(54,336 / 20,000) * 4 = 11	12 SPACES	(330 - 100) / 100 + 2 = 5	6 SPACES (2 ADA)
VILLAGE CENTER	30,880 / 250 = 124	191 SPACES (7 ADA, 2 VAN)	(30,880 / 20,000) * 4 = 7	8 SPACES	(191 - 100) / 100 + 2 = 3	4 SPACES (2 ADA)
RETAIL	19,353 / 250 = 77	125 SPACES (5 ADA, 1 VAN)	(19,353 / 20,000) * 4 = 4	4 SPACES	(125 - 100) / 100 + 2 = 3	4 SPACES (2 ADA)
TOTAL	896 SPACES	1096 SPACES	72 SPACES	74 SPACES	17 SPACES	20 SPACES (8 ADA)

### VEHICULAR PARKING REQUIREMENTS:

MULTI-FAMILY HOMES >2,500 SF: 1.6 SPACES PER UNIT + 1 SPOT FOR EVERY 8 UNITS  
GUEST PARKING REQUIRED FOR SINGLE-FAMILY HOMES: DISTRIBUTED THROUGH COMPLEX  
SALES/RETAIL (NO OUTDOOR OPERATIONS): 1.0 SPACES PER 250 SF OF GROSS FLOOR AREA

### BICYCLE PARKING REQUIREMENTS:

RESIDENTIAL: ONE BIKE SPACE PER 10 BEDROOMS  
SALES/RETAIL: 4 SPACES PER 20,000 SF

### EV PARKING REQUIREMENTS:

2 EV SPACES PER LOT WITH GREATER THAN 100 SPACES  
WITH ONE ADDITIONAL SPACE FOR EVERY ADDITIONAL 100 SPACES

### SITE DATA:

OWNER	YEARGAN, SHERMAN A 7777 WHITE OAK RD	
WAKE COUNTY PARCEL IDENTIFICATION NUMBER (PIN)	1720-27-1132	
CURRENT ZONING	COMMERCIAL MIXED USE (CMX), RESIDENTIAL THOROUGHFARE OVERLAY (RTO), COMMERCIAL HIGHWAY OVERLAY (CHO)	
RIVER BASIN	NEUSE RIVER	
EXISTING USE	AGRICULTURAL/VACANT	
OPEN SPACE	REQUIRED: 10% X 615,747 SF = 61,575 SF (25% X 61,575 = 15,394 SF MIN ACTIVE SPACE) PROVIDED: 62,694 SF TOTAL (28,874 SF ACTIVE SPACE (46.9%) & 33,820 SF PASSIVE SPACE)	
TOTAL DISTURBED AREA	2,108,382 SF (48.41 AC)	
PROPOSED USE	276 MULTI-FAMILY APARTMENTS 54,336 SF GROCERY STORE 30,880 SF VILLAGE CENTER 19,353 SF RETAIL  TOTAL: 276 RESIDENTIAL UNITS	
PARCEL AREA	LOT 1 = 615,747 SF (14.14 AC) LOT 2 = 1,251,562 SF (28.73 AC) TOTAL = 1,867,309 SF (42.87 AC)	
SETBACKS	MINIMUM FRONT MINIMUM REAR MINIMUM ALLEY MINIMUM SIDE (INTERIOR) MINIMUM SIDE (CORNER) MAXIMUM HEIGHT MAXIMUM HEIGHT (TIMBER DRIVE)	MULTI-FAMILY (FRONT LOAD) 15' 25' 6' 10' 15' 45' 35' OR 20'
BUILDING HEIGHT:	MAXIMUM ALLOWED: PROPOSED:	45' 445'
TREE CONSERVATION	REQUIRED: PROPOSED:	6.45 AC OR 280,809 SF *SEE TREE CONSERVATION NOTES* 6.48 AC OR 282,230 SF
IMPERVIOUS AREA	EXISTING: PROPOSED: DELTA:	0.42 AC (18,295 SF) 30.93 AC (1,347,310 SF) +30.51 AC (1,329,035 SF)

\*SEE SITE PLAN FOR DISTANCE FROM RIGHT OF WAY

AT THE CONCLUSION OF THE PROJECT ALL SCMS INSTALLED ON-SITE MUST BE CERTIFIED BY A DESIGN PROFESSIONAL AND THE TOWN OF GARNER ENGINEERING DEPARTMENT MUST RECEIVE ALL AS-BUILT DRAWINGS PRIOR TO THE PROJECT IS CLOSED OUT.

CONTACT THE ENGINEERING DEPARTMENT AT ENG-INSPECTIONS@GARNERNC.GOV TO SCHEDULE A PRECONSTRUCTION MEETING PRIOR TO OBTAINING BUILDING PERMITS FOR THIS PLAN.



Know what's below.  
Call before you dig.

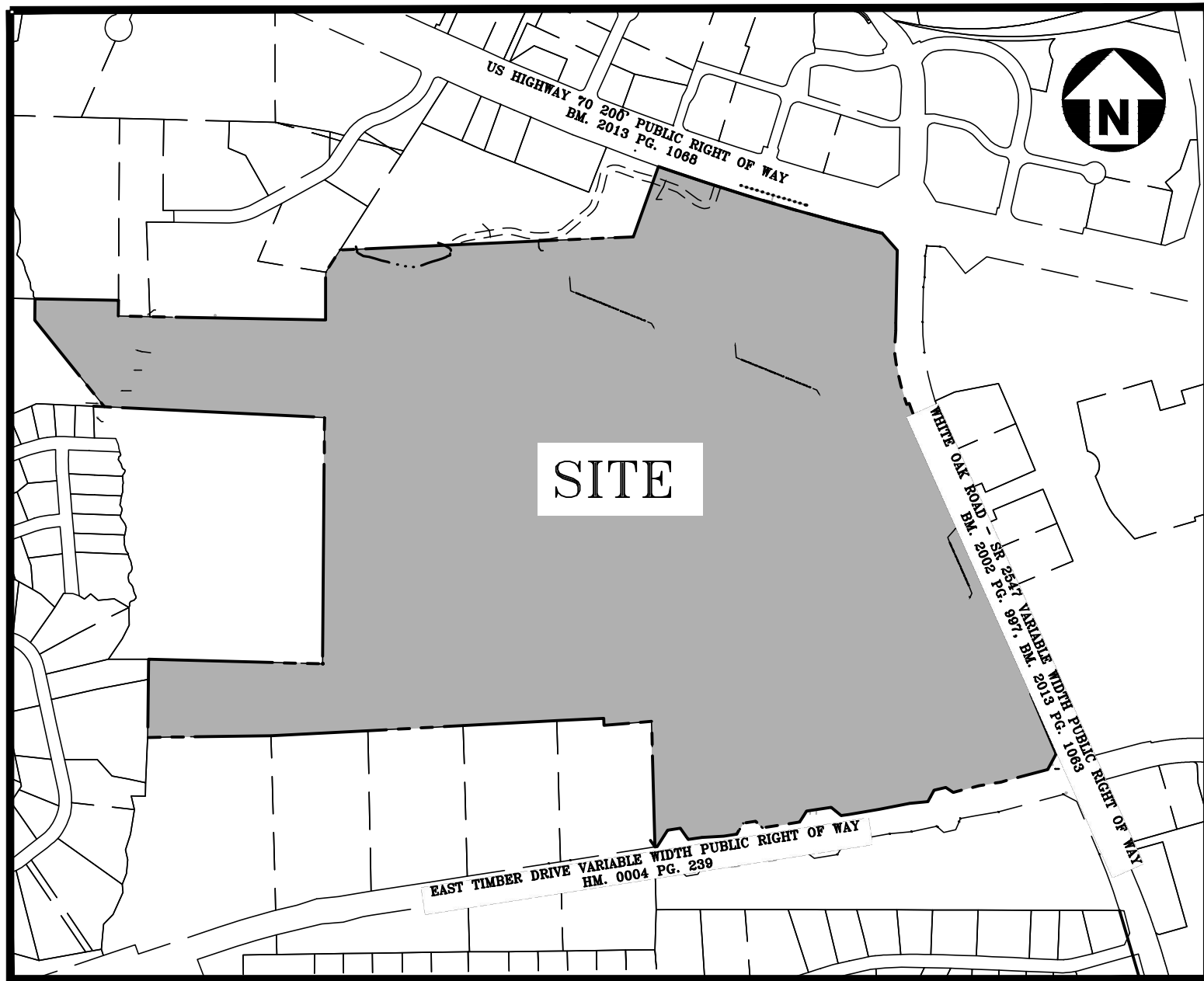
### ATTENTION CONTRACTORS

The **Construction Contractor** responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the **Public Works Department** at (919) 996-2409 and the **Public Utilities Department** at (919) 996-4540, at least **twenty four hours** prior to beginning any of their construction.

**Failure** to notify both **City Departments** in advance of beginning construction, will result in the issuance of **monetary fines**, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

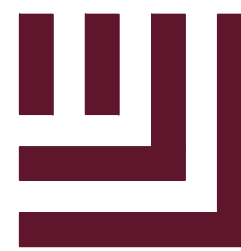
**Failure** to call for **Inspection, Install a Downstream Plug, have Permitted Plans** on the **Jobsite**, or any other **Violation of City of Raleigh Standards** will result in a **Fine and Possible Exclusion** from future work in the **City of Raleigh**.

**CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.**



### VICINITY MAP

N.T.S.



McADAMS

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### CONTACT

ADAM PIKE  
PIKE@MCADAMSCO.COM  
PHONE: 919. 823. 4300

### CLIENT

CHARTWELL PROPERTY GROUP  
JACK DUNN & MICHAEL LEWIS  
1330 ST. MARYS STREET, SUITE 100  
RALEIGH, NC 27605  
PHONE: 919. 803. 5490



### PROJECT DIRECTORY

DEVELOPER  
CHARTWELL PROPERTY GROUP  
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RALEIGH, NC 27605  
PHONE: 919. 803. 5490

CIVIL ENGINEER / LANDSCAPE ARCHITECTURE  
MCADAMS COMPANY  
621 HILLSBOROUGH STREET, SUITE 500  
RALEIGH, NORTH CAROLINA, 27603  
PHONE: 919. 361. 5000



### REVISIONS

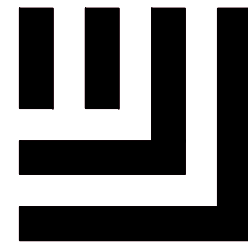
NO.	DATE	REVISION
1	07.03.2024	REVISED PER TOG 1ST REVIEW COMMENTS
2	02.21.2025	REVISED PER TOG 2ND REVIEW COMMENTS

### SPECIAL USE PERMIT & SITE PLAN FOR:

TIMBER DRIVE EAST MIXED USE  
RALEIGH, NC, 27604  
PROJECT NUMBER: SPEC-21076

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION





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## CLIENT

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PHONE: 919. 803. 5490



## TIMBER DRIVE EAST MIXED USE SPECIAL USE PERMIT & SITE PLAN O WHITE OAK ROAD GARNER, NORTH CAROLINA 27529



## REVISIONS

NO.	DATE	REVISION
1	07.03.2024	REVISED PER TOG 1ST REVIEW COMMENTS
2	02.21.2025	REVISED PER TOG 2ND REVIEW COMMENTS

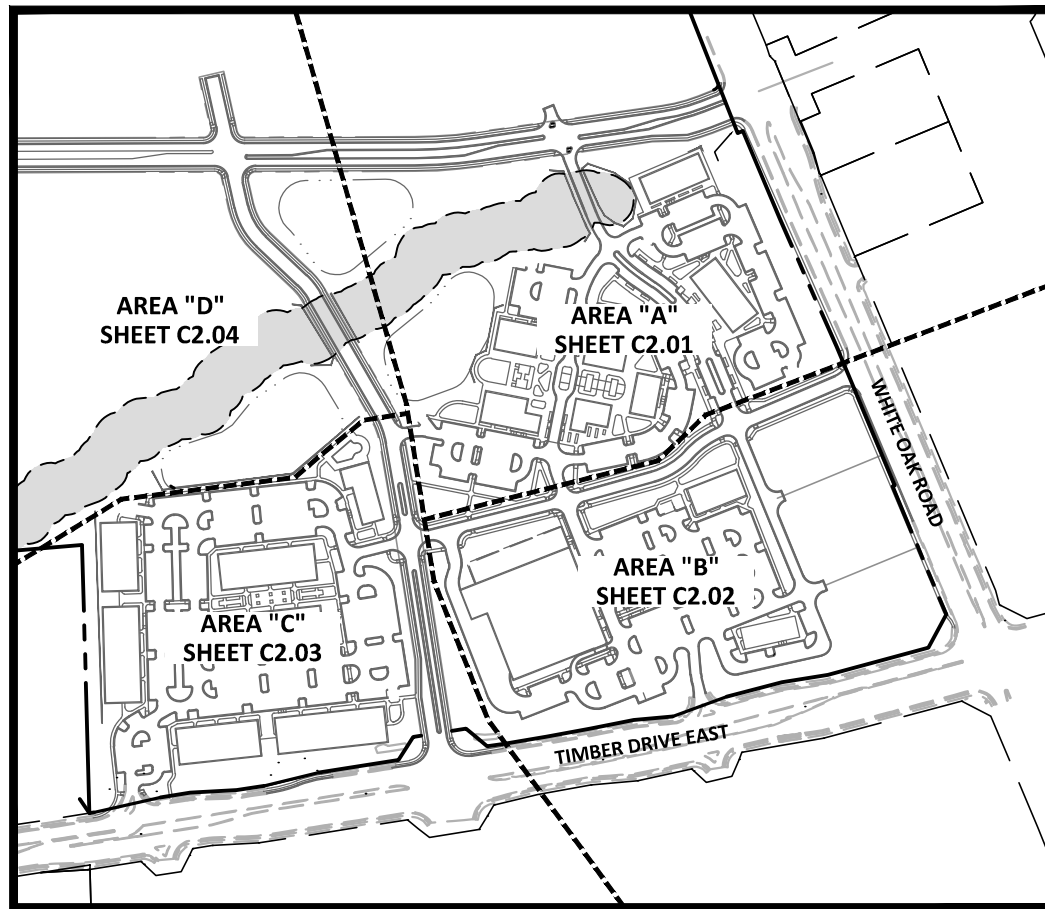
## PLAN INFORMATION

PROJECT NO.	SPEC-21076
FILENAME	SPEC21076-OAS1
CHECKED BY	ACP/LJV
DRAWN BY	CAW
SCALE	1" = 100'
DATE	12.05.2023

## SHEET

## OVERALL SITE PLAN

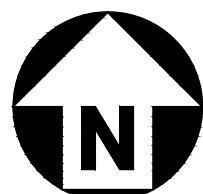
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## INDEX MAP N.T.S.

## SITE LEGEND

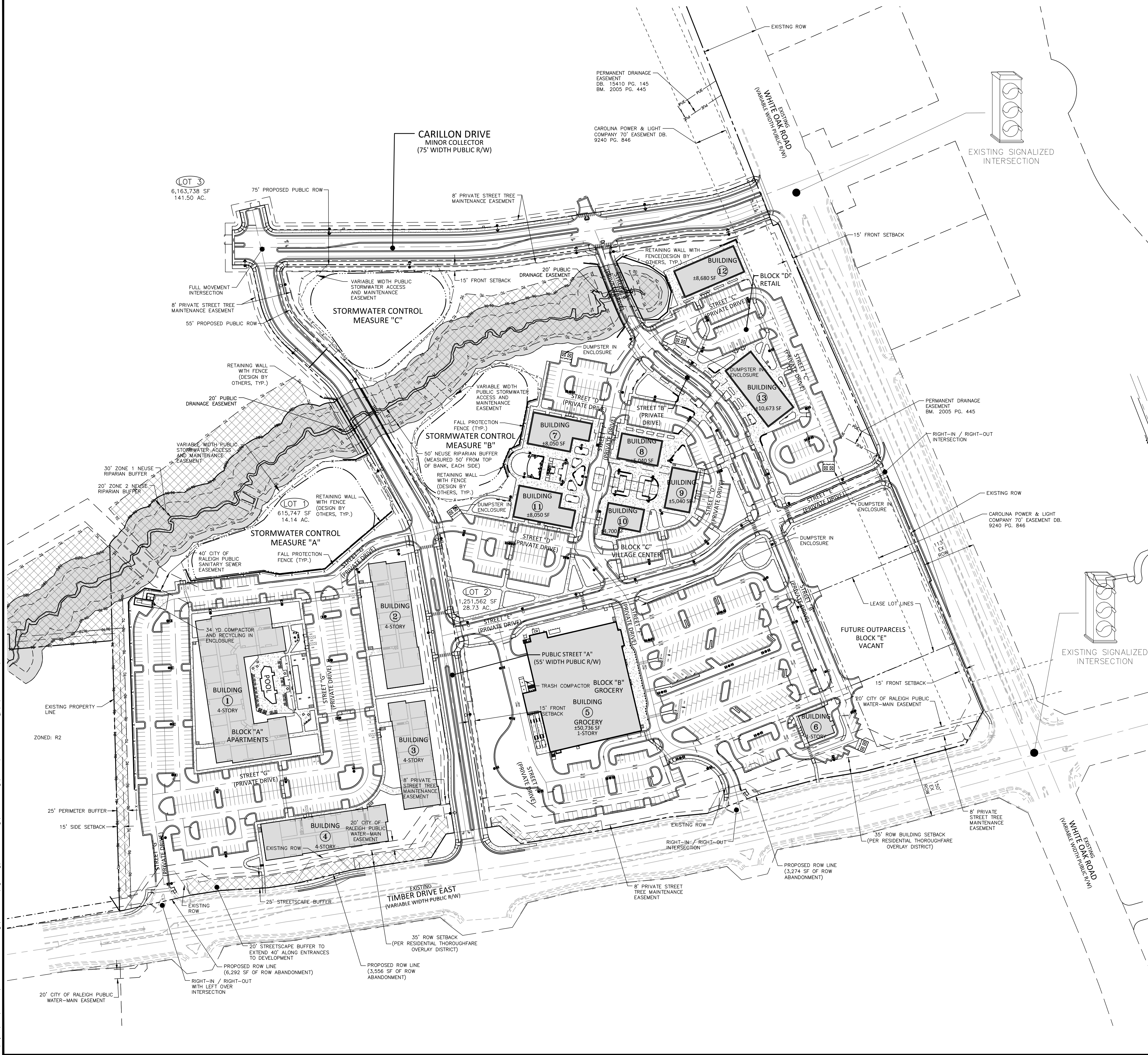
	SIGNAGE
	YARD LIGHTS
	LIGHT POLE
	POWER POLE
	TRAFFIC DIRECTIONAL ARROW
	ACCESSIBLE PARKING STALL
	VAN ACCESSIBLE PARKING STALL
	PARKING SPACE COUNT
	ACCESSIBLE RAMPS
	ACCESSIBLE ROUTE
	PHASE LINE
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	LOT LINE
	EASEMENT LINE
	CENTERLINE
	HEAVY DUTY ASPHALT PAVEMENT
	TREE CANOPY AREA



GRAPHIC SCALE  
0 50 100 200  
1 inch = 100 ft.

## GENERAL NOTES:

- TREE PROTECTION FENCE AND SILT FENCE CANNOT SHARE THE SAME POLE
- PRIOR TO RELEASE OF THE CERTIFICATE OF OCCUPANCY, THE OWNER / BUILDER MUST SUPPLY THE TOWN WITH A FINAL LETTER OF CERTIFICATION FROM LIGHTING ENGINEER, LIGHTING MANUFACTURE.

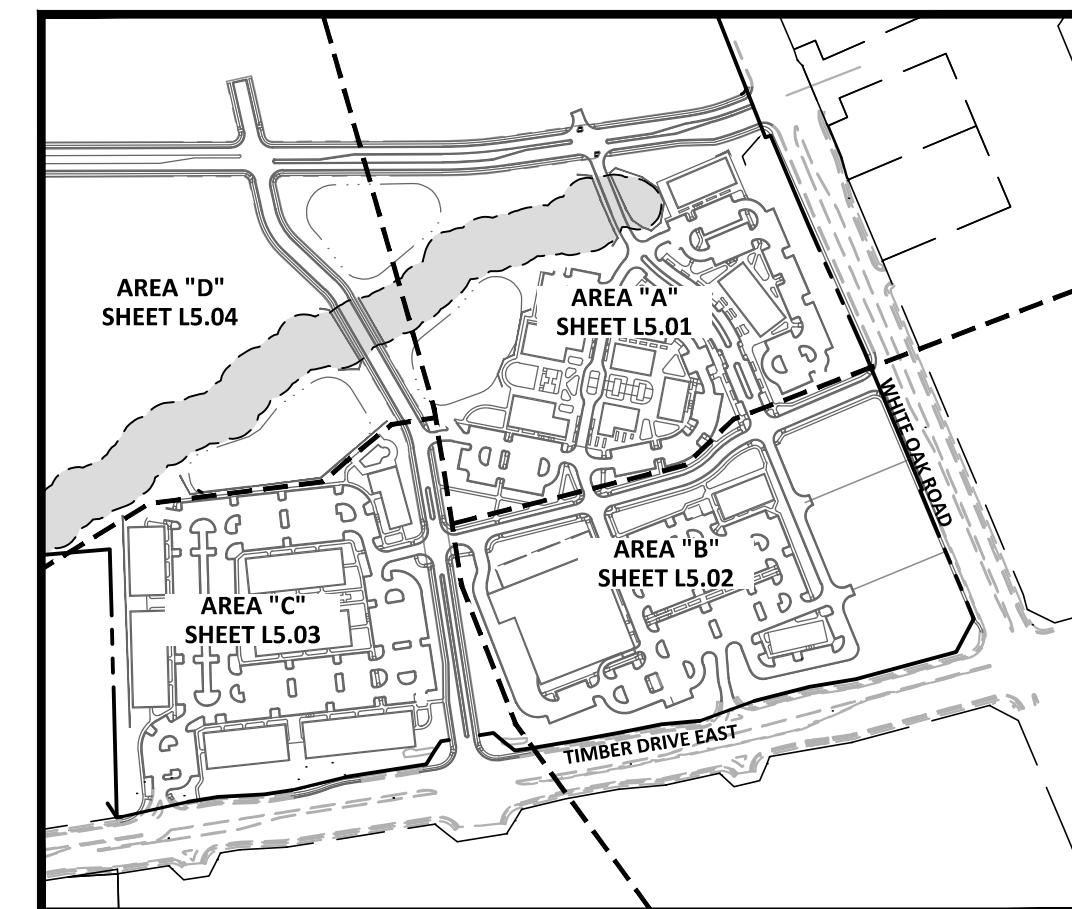
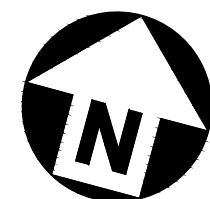
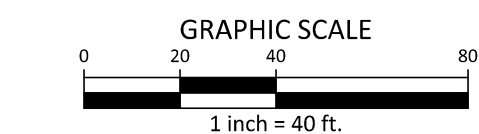




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SITE LEGEND	
	SIGNAGE
	YARD LIGHTS
	LIGHT POLE
	POWER POLE
	TRAFFIC DIRECTIONAL ARROW
	ACCESSIBLE PARKING STALL
	VAN ACCESSIBLE PARKING STALL
	PARKING SPACE COUNT
	ACCESSIBLE RAMPS
	PHASE LINE
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	LOT LINE
	EASEMENT LINE
	CENTERLINE
	TREE PROTECTION
	TREE CANOPY AREA
	ACTIVE OPEN SPACE



INDEX MAP  
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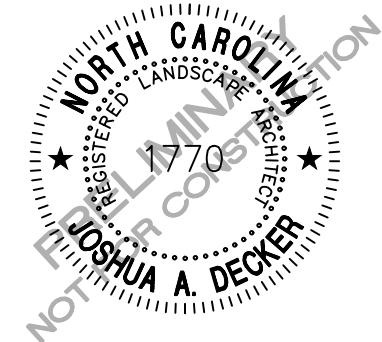
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Chartwell  
Property Group

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1	07.03.2024	REVISED PER TOG 1ST REVIEW COMMENTS
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#### PLAN INFORMATION

PROJECT NO.	SPEC-21076
FILENAME	SPEC21076-L51
CHECKED BY	BTk
DRAWN BY	MCG
SCALE	1"=100'
DATE	07.03.2024

#### SHEET

OVERALL  
LANDSCAPE PLAN  
**L5.01**

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION